

U N I T 2
PERIVALE
PARK

HORSENDEN LANE SOUTH, PERIVALE



On the instructions of



INDUSTRIAL / WAREHOUSE UNIT

34,944 SQ FT (3,246.4 SQ M)

TO LET

www.perivalepark.com

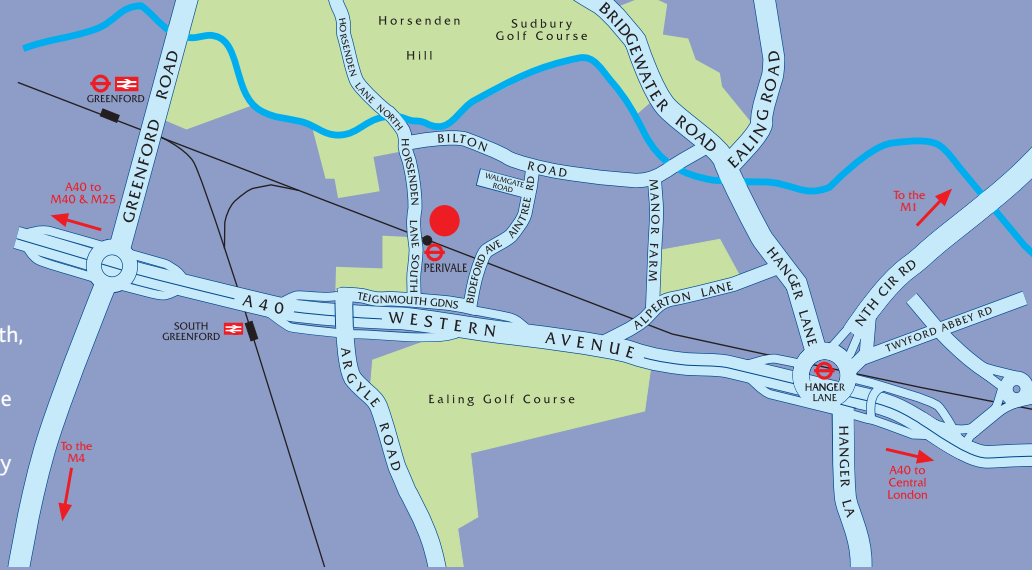
UNIT 2

PERIVALE PARK

LOCATION

Perivale Park is located off Horsenden Lane South, within half a mile of the A40 (Western Avenue), which connects to Junction 16 of the M25 in the west and central London in the east. The park is ideally situated for access to the West End / City and the national motorway network.

SAT NAV REF: UB6 7RL



DISTANCE

Perivale Underground Station	300 metres
A40	0.5 miles
M40 (Junction 1A)	9 miles
M25 (Junction 16)	9 miles
Central London	7 miles
London Heathrow Airport	10 miles
M1 (Junction 1)	6 miles

(Source: Routefinder 2007)

ACCOMMODATION

Description	sq ft	sq m
Warehouse	31,138	2,892.79
Ground floor offices	1,903	176.79
First floor offices	1,903	176.79
TOTAL	34,944	3,246.4

All areas are approximate and based on gross internal measurements.

FEATURES

- Mid terrace unit
- Minimum clear height of 6m rising to 8.6m at the apex
- Allocated car parking spaces
- Fitted offices
- Lighting to warehouse
- 2 full height dock level loading doors and a single smaller rear level loading door

TERMS

Unit 2 is available on a new Full Repairing and Insuring lease on terms to be agreed.

VIEWING

Strictly by prior appointment through joint sole agents:



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gus.haslam@kingsturge.com
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